



PRANAVA BUSINESS SQUARE

@ KOTHAGUDA , HYDERABAD.



Aslam Architects &
Interior Designers Pvt.Ltd



PRANAVA BUSINESS SQUARE @ KOTHAGUDA , HYDERABAD.



DEVELOPERS:



LOCATION MAP



Aslam Architects &
Interior Designers Pvt.Ltd

PRANAVA BUSINESS SQUARE @ KOTHAGUDA, HYDERABAD.



15,091 SQ.FT.

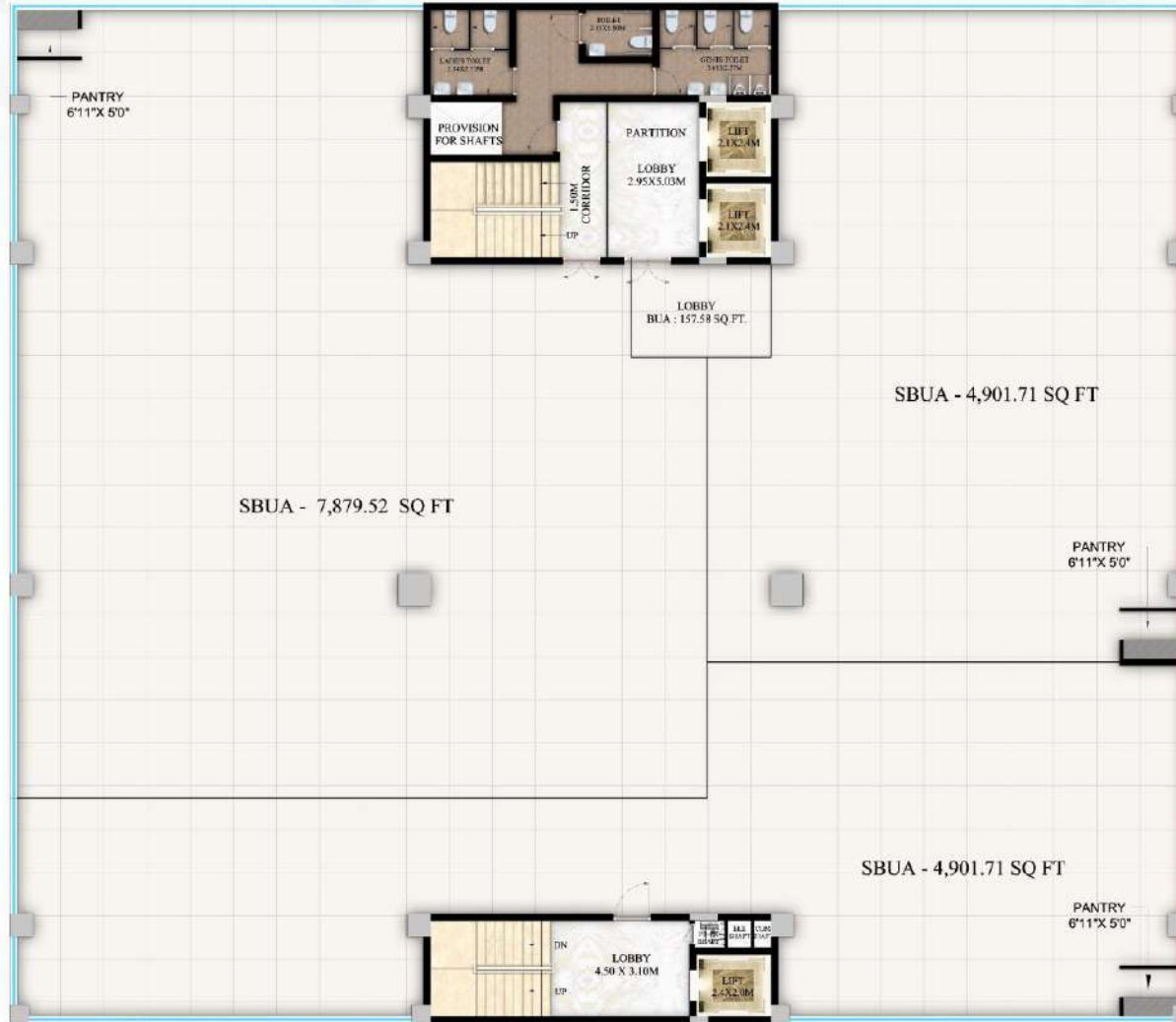
DEVELOPERS:



GROUND FLOOR PLAN



PRANAVA BUSINESS SQUARE @ KOTHAGUDA , HYDERABAD.



17,632 SQ.FT.

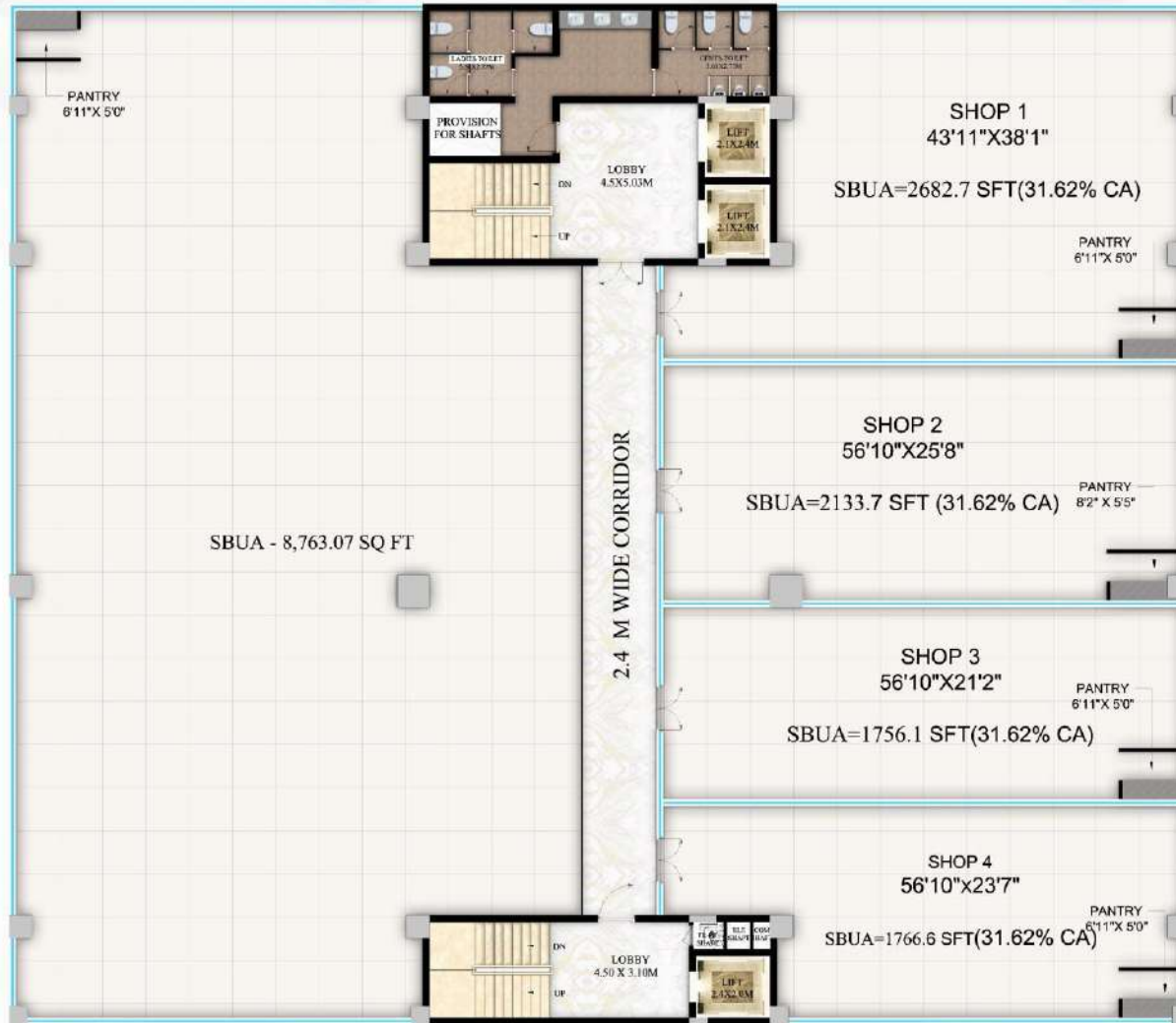
DEVELOPERS:



FIRST FLOOR PLAN



PRANAVA BUSINESS SQUARE @ KOTHAGUDA, HYDERABAD.



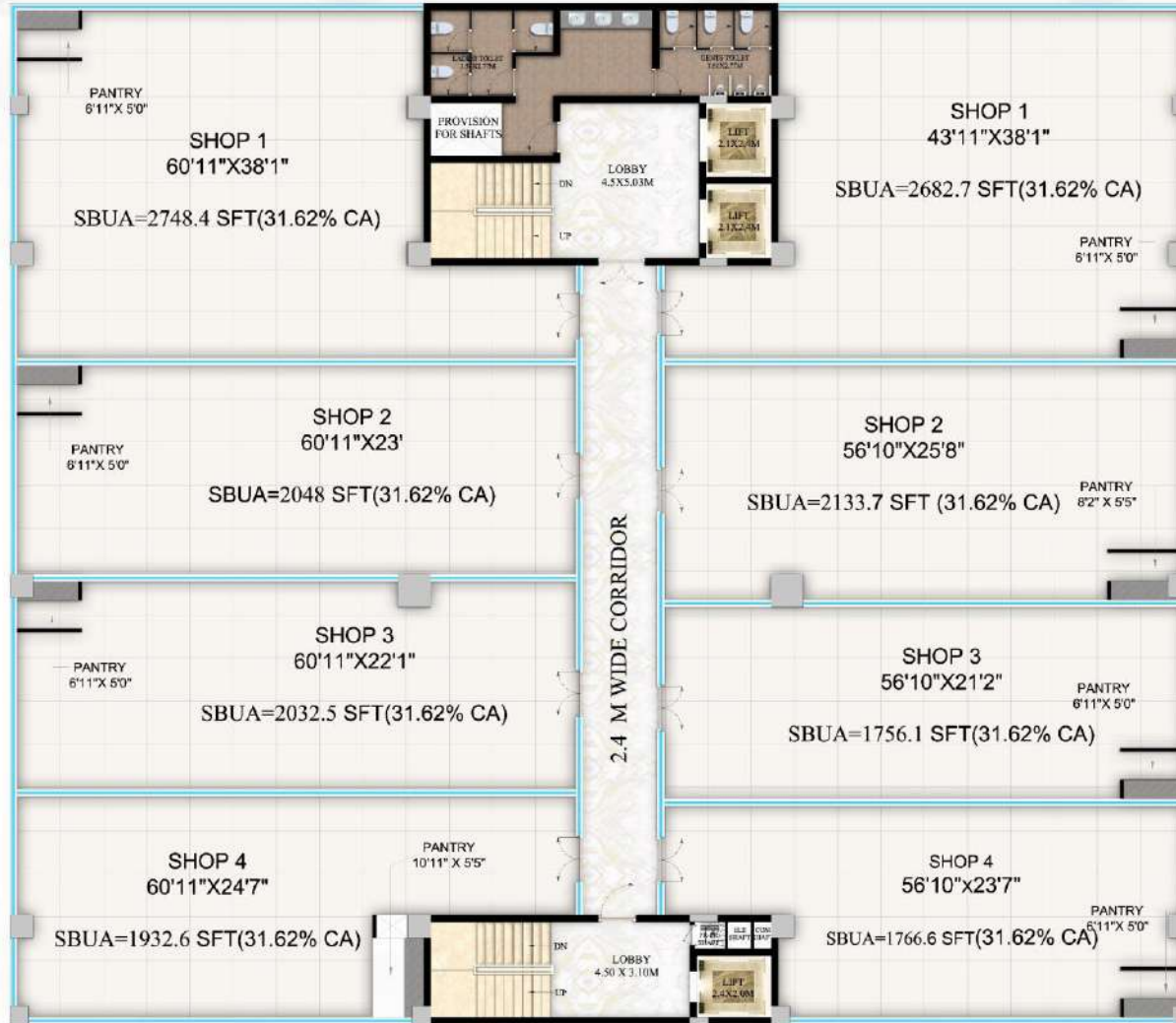
DEVELOPERS:



17,081.00 SQ FT

SECOND FLOOR PLAN





DEVELOPERS:



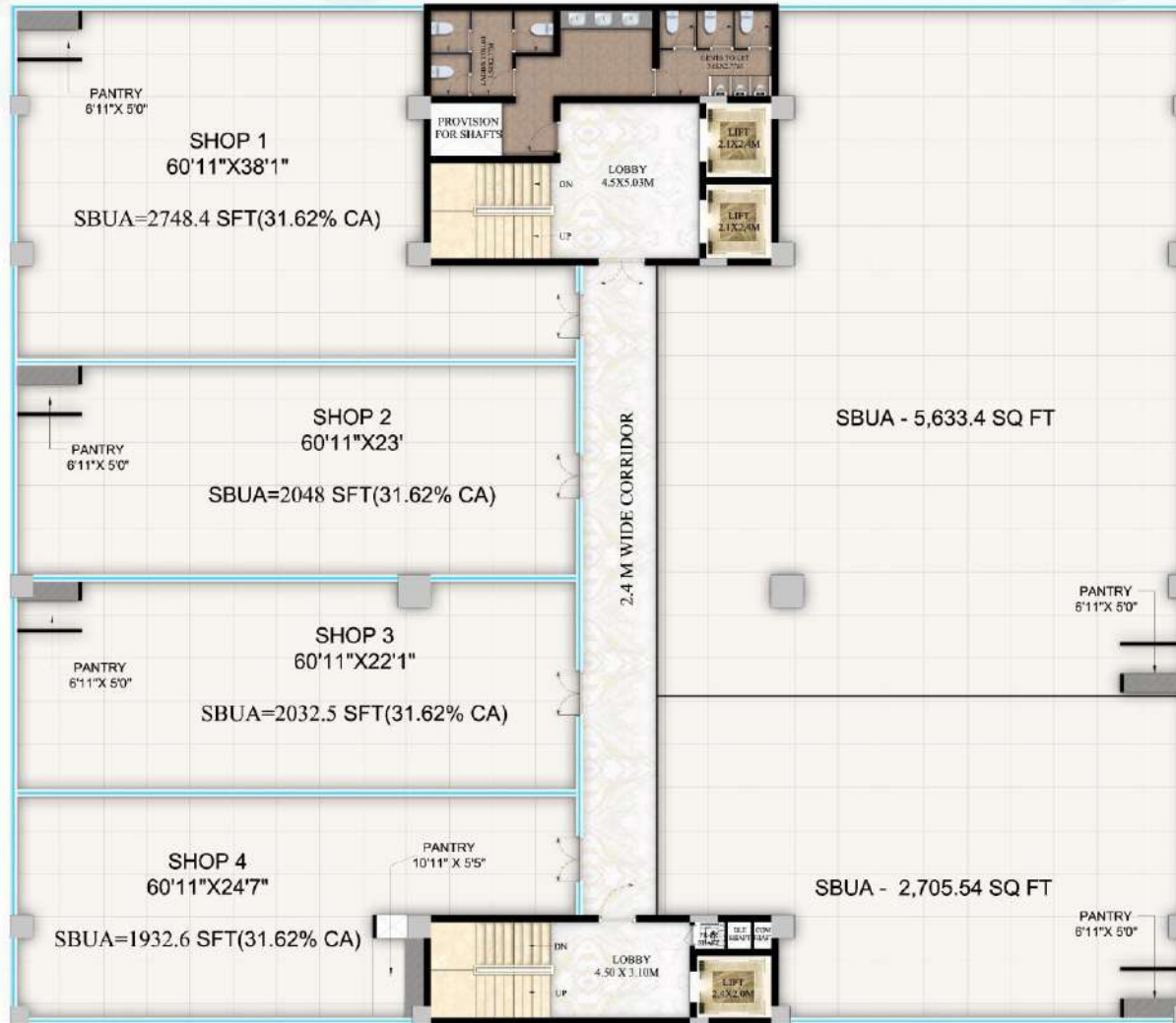
17,913.54 SQ FT

THIRD FLOOR PLAN



Aslam Architects & Interior Designers Pvt.Ltd

PRANAVA BUSINESS SQUARE @ KOTHAGUDA , HYDERABAD.



DEVELOPERS:

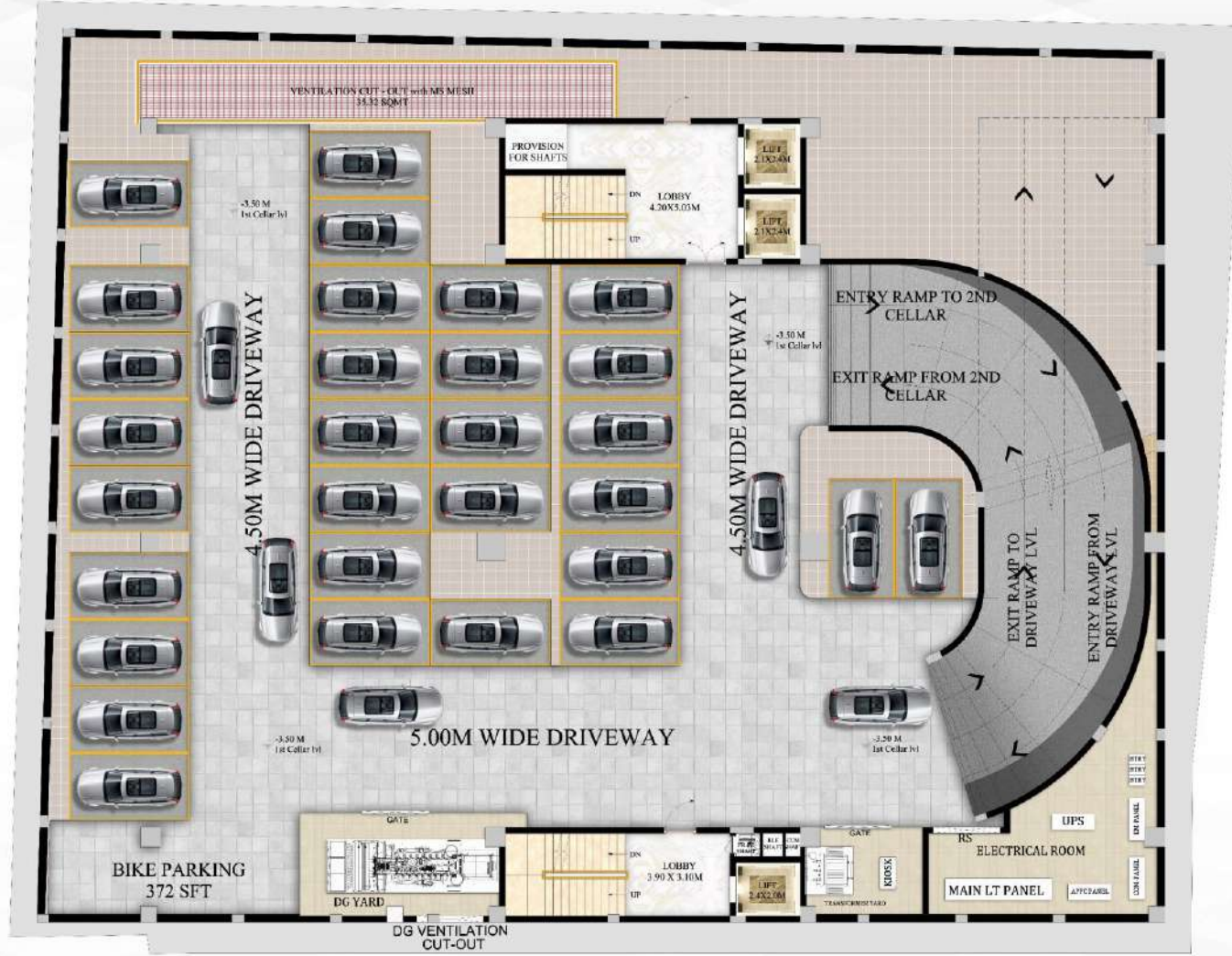


17,081 SQ FT

FOURTH FLOOR PLAN



PRANAVA BUSINESS SQUARE @ KOTHAGUDA, HYDERABAD.



30 NO. OF CARS

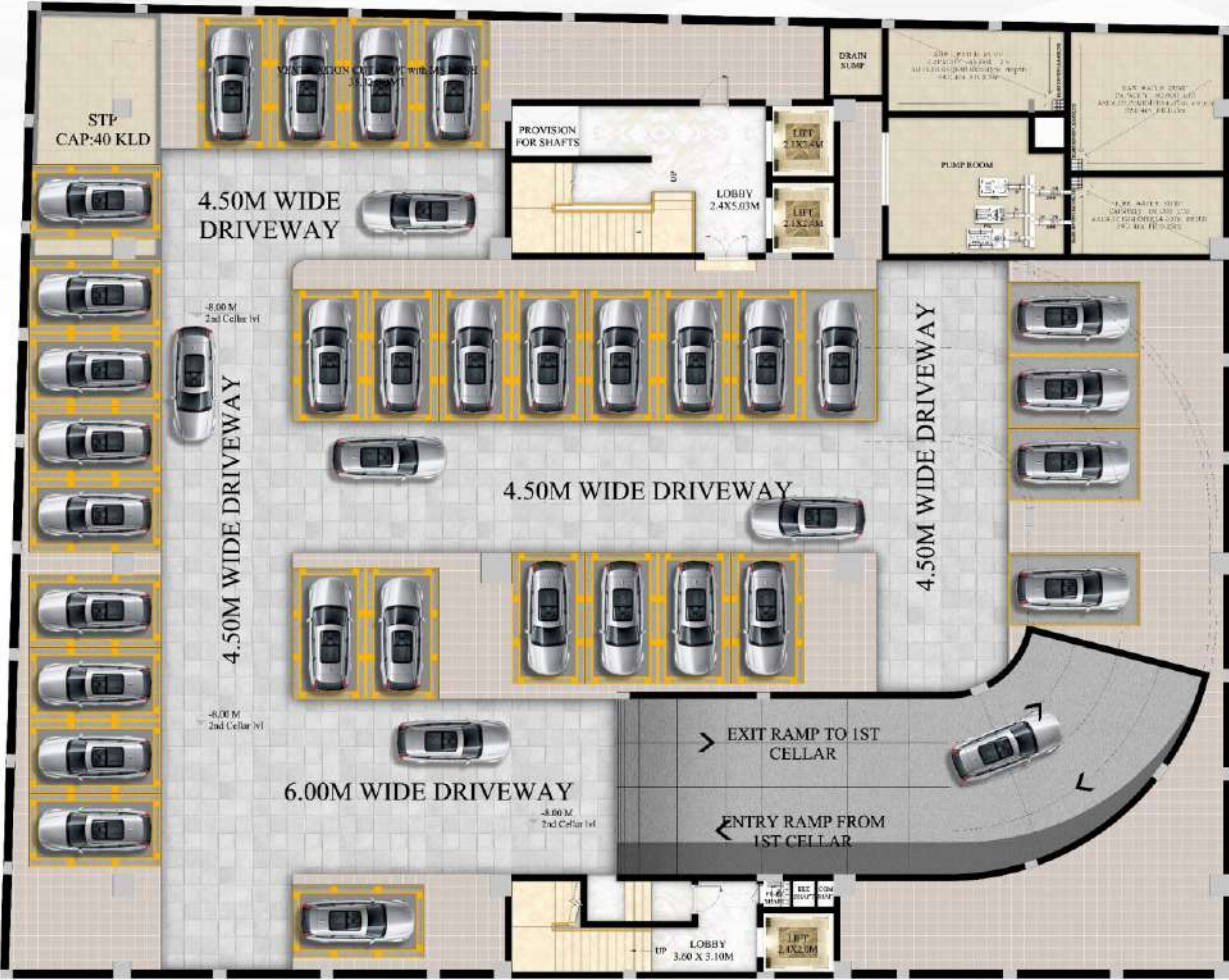
DEVELOPERS:



CELLAR -1 FLOOR PLAN



PRANAVA BUSINESS SQUARE @ KOTHAGUDA , HYDERABAD.



32 NO. OF CARS
 MECHANICAL PARKING = 27 NO. OF CARS
 TOTAL = 59 NO. OF CARS



CELLAR -2 FLOOR PLAN



PRANAVA BUSINESS SQUARE @ KOTHAGUDA , HYDERABAD.



DEVELOPERS:



NORTH EAST VIEW





PROPOSED SPECIFICATIONS OF 'PRANAVA BUSINESS SQUARE'

FOR PRANAVA GROUP.

BRIEF SPECIFICATIONS

• FOUNDATION & STRUCTURE

R.C.C. Framed structure , post tensioning slabs with no beams designed to the standard specifications.

3.35 m height of ground floor, 3.2m height of first floor and 3.0m height of typical floors .

2 basements for ample car parking space where basement-1 is provided with 3.5 m height, basement-2 is provided with 4.50m height for stack parking which can also accommodate all building related services conveniently.

Mechanical ventilation is provided in the basements for a clean environment in the parking area.

All these facilities will help the building to meet the parameters of A-Grade building.

• SUPER STRUCTURE

Table-moulded Concrete / Fly ash blocks , First class masonry in cement mortar.

• PLASTERING

20mm thick Double coat plastering for smooth finish.

• FACADE WORK

Structural Glazing of unitised system , anodized extruded aluminium members of approved sections with combination of Ceramic coated glass or ACP as per Architectural design.
Low-E glass with heat reflecting properties is used to make the building environment- friendly.

• PAINTING

Smooth finish with lappum, over a coat of primer and top varnish with a coat of Paint Finish.

• FALSE CEILING

All Common areas shall be provided with false ceiling in **Gypsum board or Wooden/Grid ceiling** as per design.

• FLOORING

Common areas : Imported marble ,Granite and Vitrified tiles.

Staircases : Granite / Marble.

Parking areas : VDF Flooring and anti-skid vitrified tiles for Ground Floor Driveway areas.

Lift : Cladding with Imported marble in combination with Vitrified tiles.

Washrooms: Granite in combination with Vitrified tiles.

• ELECTRICAL

Power supply shall be as per standard design

- a) Power supply for all units as per load details with separate distribution board.
- b) Lighting for common areas corridors, parking areas as per standards.
- c) Transformers of required capacity shall be provided.
- d) Earth grid for power system with earth resistance as per standards.
- e) **100% Power backup** for the building by providing adequate numbers of D.G. Sets as per load calculations.

• AUTOMATION

Building is provided with **BMS (Building Management System)** which will help in monitoring the effective energy consumption.

Access control system ,security system, CC Tv monitoring are provided as per Grade -A building requirements.

• HVAC

Centralised HVAC facility with 100% power backup for shops,offices,atrium and common areas.

• PLUMBING & SANITATION

Adequate number of under ground sumps and over head tanks for round the clock water supply are provided at suitable places in the basements and building terrace. Hydrpneumatic pumps of required HPs for water supply are provided.

• FIRE FIGHTING

High standard fire fighting equipments,under ground tanks,overhead tanks and provision of **refuge areas** as per standard of grade – A office building.

• LIFTS

Adequate number of **high performance elevators** of a reputed brand like **Mitsubishi** or **Schindler**.

• RAILING

Stainless steel / Glass handrail for all balconies and staircases to provide modern and sleek appearance to the building.

• LANDSCAPING

Well-designed landscaped areas around the building and on the terrace floor to enhance the aesthetics of the building.

• WATER PROOFING

Special treatment for waterproofing of basement areas Retaining walls and Terrace.

• STP

Provision of STP of required size as per the calculations and standards.

DEVELOPERS:





FLOOR NAME	BUA (SFT)	FLOOR WISE SBUA(SFT)
2ND CELLAR FLOOR	14,799.14	NIL
1ST CELLAR FLOOR	14,799.14	NIL
GROUND FLOOR	11,263.82	14,980.19
FIRST FLOOR	13,625.61	17,682.95
SECOND FLOOR	13,625.61	17,102.01
THIRD FLOOR	13,625.61	17,913.54
FOURTH FLOOR	13,625.61	17,102.30
TERRACE FLOOR	1,119.29	NIL
ABOVE TERRACE FLOOR	255.99	NIL
TOTAL	96,739.82	84,780.99

DEVELOPERS:



AREA STATEMENT

