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# PARAM BLISS

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2 & 3-BHK FLATS

the perfect elements  
to a blissful life.





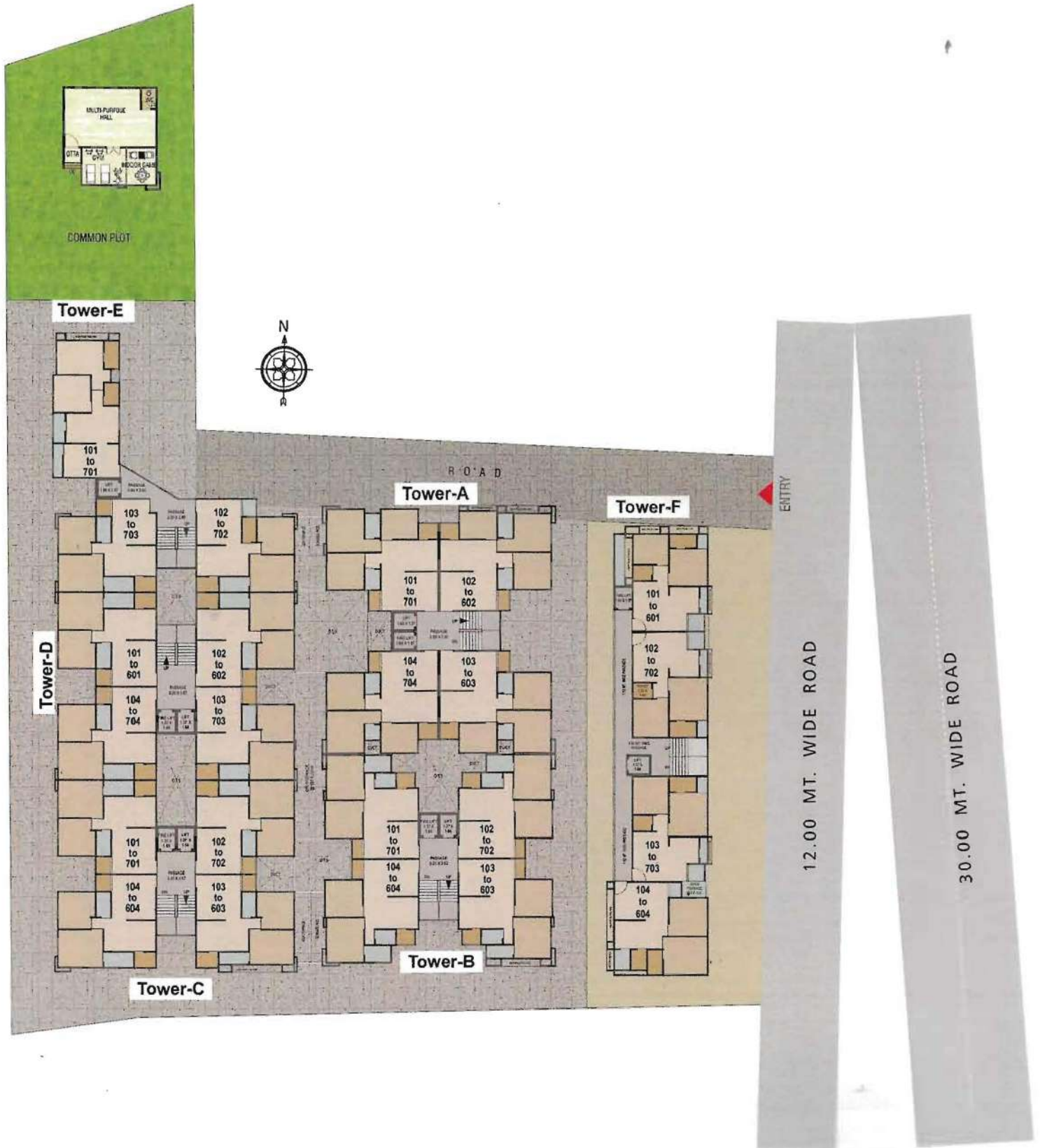


# Parking Plan





# Layout Plan



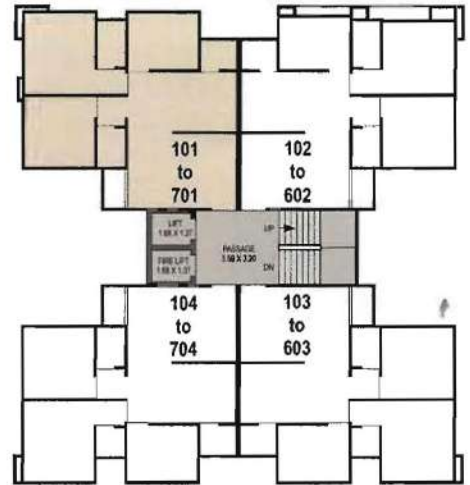


# Tower-A

## 3-BHK

Carpet : 67.86 sq.mt.

### TYPICAL FLOOR PLAN



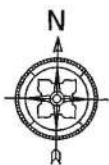
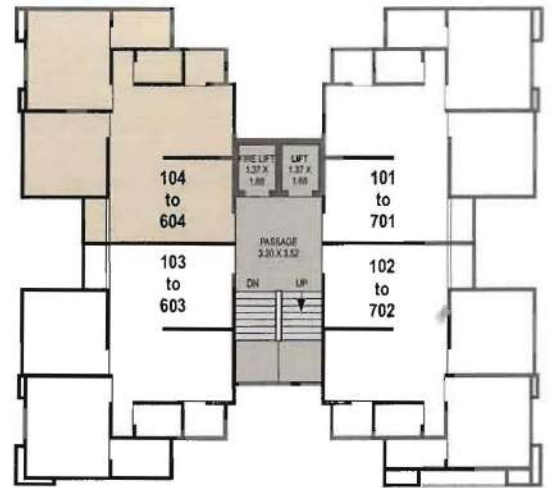


# Tower-B

## 2-BHK

Carpet : 56.23 sq.mt.

### TYPICAL FLOOR PLAN



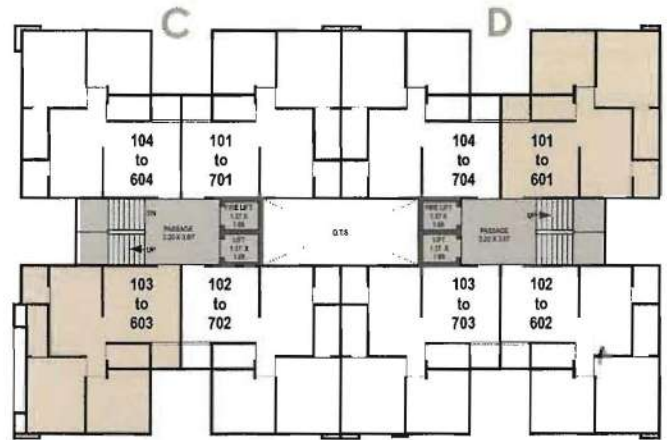


# Tower-C,D

## 2-BHK

Carpet : 55.95 sq.mt.

### TYPICAL FLOOR PLAN







# Tower-E

## 2-BHK

Carpet : 60.65 sq.mt.



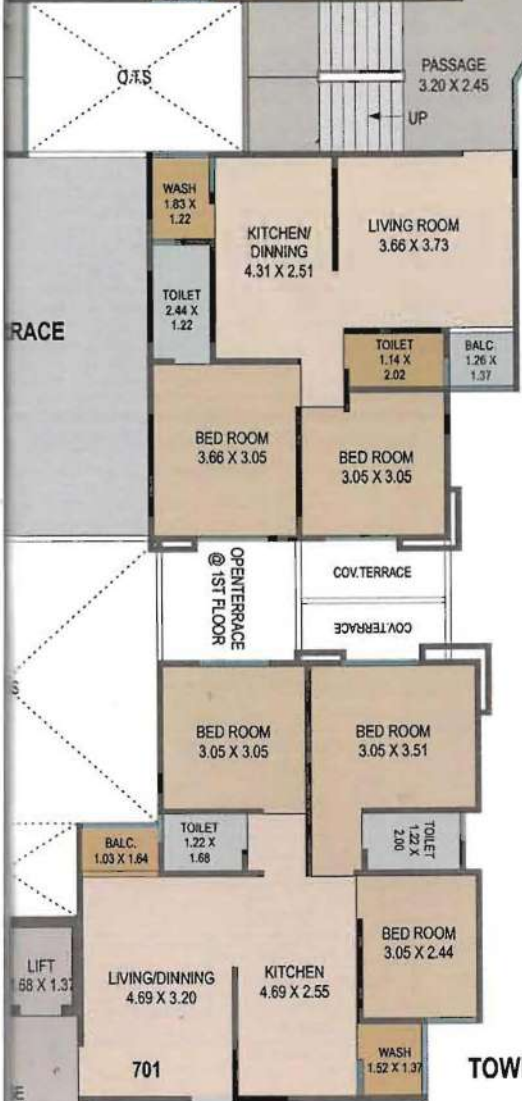
### TYPICAL FLOOR PLAN







TOWER - E



TOWER - A

**Tower-A, B, C, D**  
 Terrace Flat



RACE

RACE

UP

OPEN TERRACE  
701

OPENTERRACE  
@ 1ST FLOOR

COV.TERRACE

COV.TERRACE

UP

O.T.S

PASSAGE  
3.00 X 2.00

PASSAGE  
3.20 X 2.45

LIFT  
1.68 X 1.3

LIFT  
1.68 X 1.3

UP

BED ROOM  
3.66 X 3.05

BED ROOM  
3.05 X 3.05

LIVING ROOM  
4.57 X 2.75

KITCHEN/DINNING  
4.38 X 2.44

BED ROOM  
3.05 X 3.05

BED ROOM  
3.81 X 2.75

TOILET  
1.14 X 2.02

BALC.  
1.26 X 1.37

101  
301  
601

TOILET  
1.22 X 1.83

TOILET  
1.22 X 2.25

TOILET  
2.44 X 1.22

KITCHEN/DINNING  
4.31 X 2.51

LIVING ROOM  
3.66 X 3.73

WASH  
1.83 X 1.22

WASH  
1.83 X 1.22

KITCHEN/  
DINNING  
4.31 X 2.51

LIVING ROOM  
3.66 X 3.73

TOILET  
2.44 X 1.22

TOILET  
1.14 X 2.02

BALC.  
1.26 X 1.37

BED ROOM  
3.66 X 3.05

BED ROOM  
3.05 X 3.05

BED ROOM  
3.05 X 3.05

BED ROOM  
3.05 X 3.51

BALC.  
1.03 X 1.64

TOILET  
1.22 X 1.68

TOILET  
1.22 X 2.00

LIVING/DINNING  
4.69 X 3.20

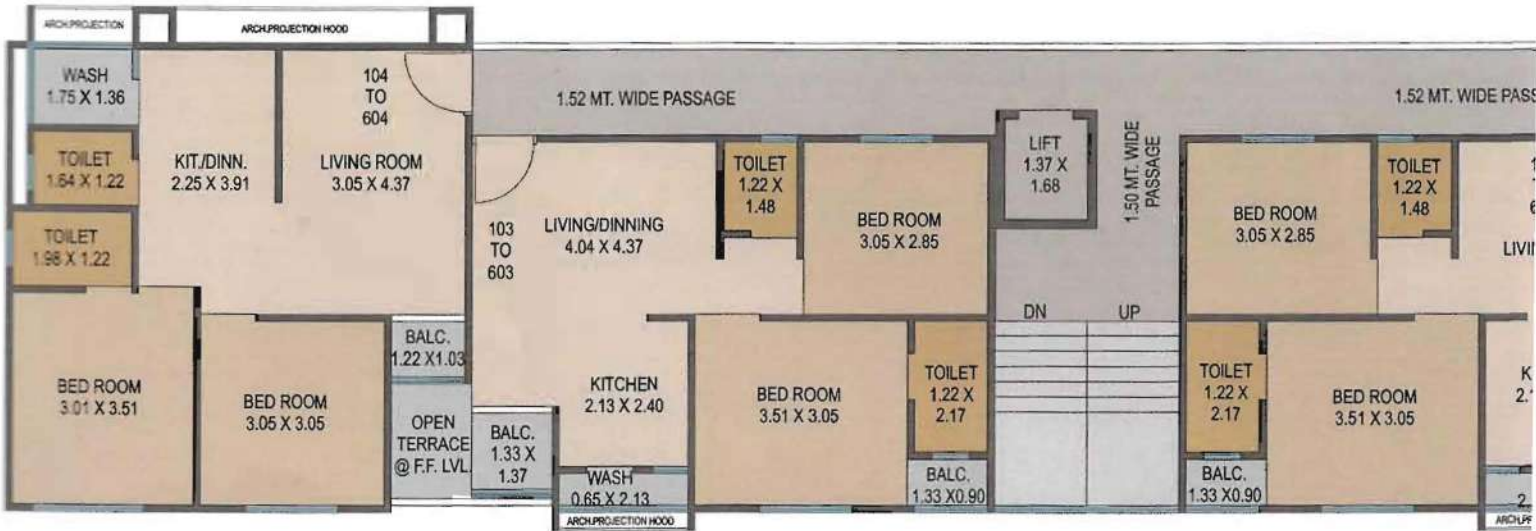
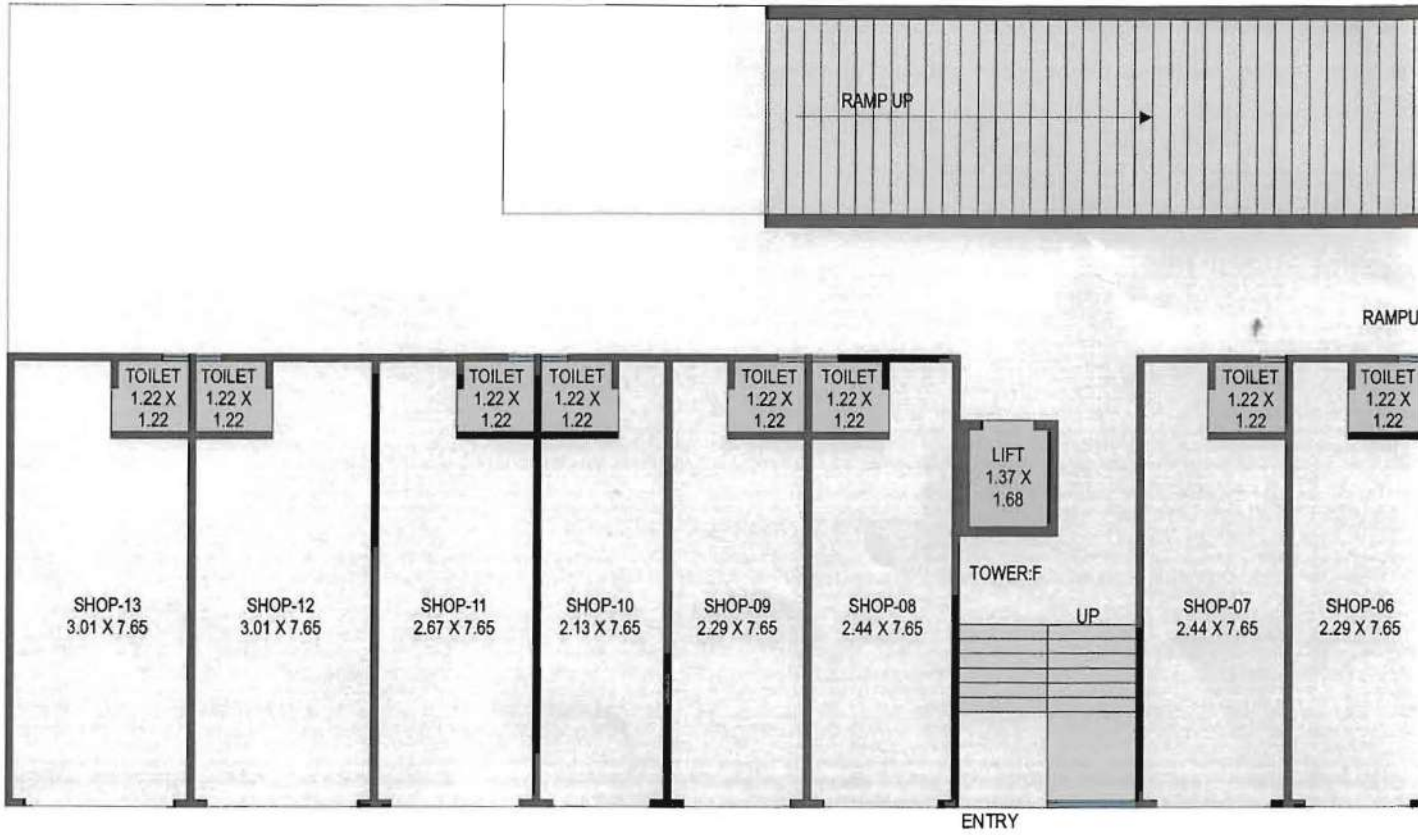
KITCHEN  
4.69 X 2.55

BED ROOM  
3.05 X 2.44

WASH  
1.52 X 1.37

701

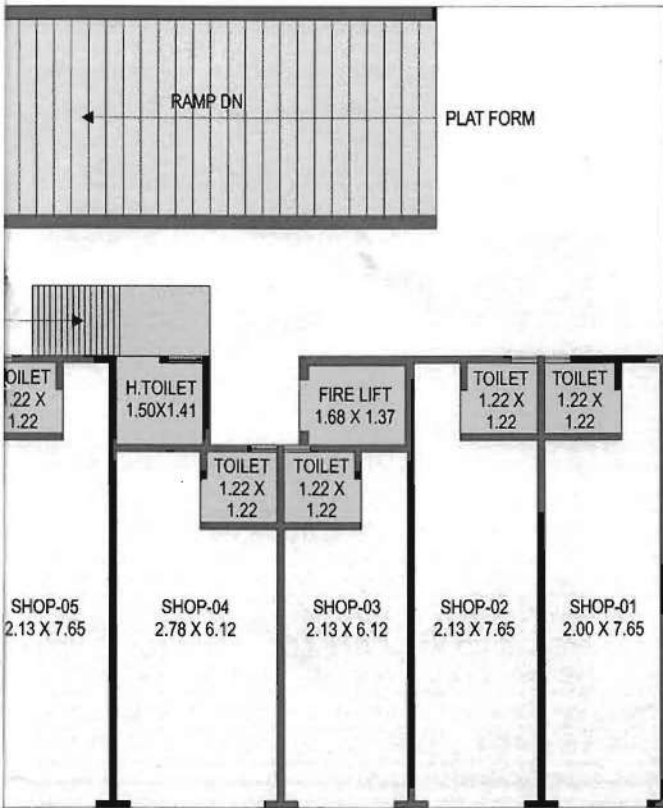
TOWER - A



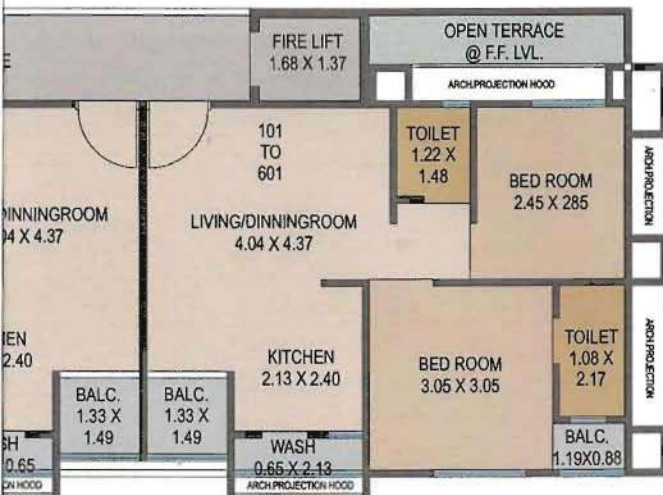


# Tower-F

Carpet : 51.05 sq.mt.



**GROUND FLOOR PLAN (SHOPS)**



**TYPICAL FLOOR PLAN ( 1st to 6th )**



**TERRACE FLOOR PLAN ( 7th )**



## Specification

### **Structure :**

Earthquake resistance RCC frame structure as per structure design

### **Wall Finishing :**

Internal smooth plaster with acrylic emulsion paint & external double coat plaster with weather-resistant paint

### **Flooring :**

Vitrified tiles flooring in all rooms

### **Door :**

Elegant entrance door & Internal flush door with stone frame

### **Windows :**

Anodized aluminum windows with stone sill

### **Kitchen :**

Granite platform with SS Sink & glazed tiles dedo upto lintel level

### **Bathroom :**

Designer Bathrooms with premium fittings & vessels with glazed tiles upto lintel level

### **Plumbing :**

Concealed U-PVC Plumbing

### **Electrification :**

Concealed copper wiring of approved quality, sufficient electrical points as per architect's plan

### **Water Supply :**

Individual R.O System & Sensor for overhead and underground tank

### **Terrace :**

Open terrace finished with water proofing & china mosaic

## Amenities

- CHILDREN'S PLAY AREA
- SENIOR CITIZEN SITTING
- JOGGING TRACK
- GAME ROOM
- CLUB HOUSE
- LANDSCAPED GARDEN
- POWER BACKUP FOR COMMON UTILITY
- RCC TRIMIX ROAD
- UNDERGROUND ELECTRIC CABLING
- FIRE EXTINGUISHER PIPES ON EACH FLOOR



# PARAM BLISS



**Developers :**  
**Anant Corporation**

Site: " Param Bliss", Next to Pushti,  
30 mtr bill canal road, Nr., Param Flats,  
Atladra - Padra Road, Bill, Vadodara.

**Call: 98251 64180 | 97249 81595**

Email: parambliss10219@gmail.com

**Architect : Rishi Architect**  
**Structure : Ashok Shah & Associates**

#### PAYMENT TERMS

• At the time of Booking 10% • At the time of Agreement to Sale 30% • Flats/Shops at the time of Plinth Level 45% • Flats/Shops at the time of Sleb Level 70% • Flats/Shops Masonry/ Brick work (Your Unit) Wall, Plaster, Floring and Window 75% • Flats/Shops Sanitary Fittings, Flooring, Staircase, Liftwell etc. 80% • Flats/Shops Plumbing, Outside Plaster, Terrace Water Proofing etc. 85% • Flats/Shops Lift Fitting, Electric Fittings, Water Pump etc. 95% • At the time of Possession 100%

**DISCLAIMER :** The following will be charged extra in advance / as per Government norms - (a) Stamp duty and registration charges. (b) GST (actual) or any such additional taxes if applicable in future. • If any new taxes applicable by Central or State Government in future it will be borne by the customer • Premium quality materials or equipment branded products shall be used for construction work. • Right of any changes in dimensions, design & specifications will be reserved with developer, which shall be binding for all members. • External changes are strictly not allowed. • MGVCL meter deposit should be levied separate • Each member needs to pay maintenance deposits separately • In case of booking cancellation, amount will be refunded from the booking of same premises and minimum of rupees 50,000/- will be deducted from the booking amount • Extra work at the cost of client with prior estimate needs to be given in advance but no change in elevation and plan will be done • The developer reserve the full right to make any changes • This brochure does not form a part of agreement or any legal document, It is easy display of project only • Right of any changes in dimensions, design and Layout, specifications, elevation will be reserved with the developers. • Developer will not be held responsible for any delay in possession in case relevant avenues will not be provided by corporation, Madya Gujarat Vigh Company (drainage, water, Light) • Jurisdiction to Vadodara.